

**SEMINOLE COUNTY GOVERNMENT
BOARD OF ADJUSTMENT
AGENDA MEMORANDUM**

SUBJECT: Request for a special exception for a proposed off street parking facility and an addition to an existing church in the R-1 (Single-Family Dwelling District); (Vernon Thompson, applicant).

DEPARTMENT: Planning & Development **DIVISION:** Planning

AUTHORIZED BY: Kathy Fall **CONTACT:** Ian Sikonia **EXT.** 7398

Agenda Date 07/24/06 **Regular** ☒ **Consent** ☐ **Public Hearing – 6:00** ☒

MOTION/RECOMMENDATION:

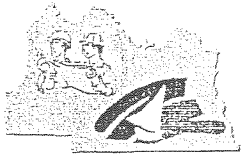
1. **APPROVE** the request for a special exception for a proposed off street parking facility and an addition to an existing church in the R-1 (Single-Family Dwelling District); or
2. **DENY** the request for a special exception for a proposed off street parking facility and an addition to an existing church in the R-1 (Single-Family Dwelling District); or
3. **CONTINUE** the request to a time and date certain.

| | | |
|-----------------------------|---|---|
| GENERAL INFORMATION | Rose Hill Baptist Church P.O. Box 470164 Lake Monroe, FL 32747 | R-1 District, LDC Section 30.183(d) & (a); (Off-street parking facility & Church) |
| BACKGROUND / REQUEST | <ul style="list-style-type: none"> • The applicant proposes to expand an existing church and construct an off street parking facility in the Bookertown community. • The applicant wishes to expand the church by adding an additional 3,124 square feet to an existing building. The new addition will consist of a congregation area, reception areas, and the pastor's office. They are also proposing to construct two unpaved parking facilities. The first is an off street parking facility which located on the west side of the church across Moton Avenue and contains 22 parking spaces. The second is located on site and contains 18 spaces including the handicapped spaces. • The proposed membership for the existing church is 180 members. The total seating in the existing church is | |

| | | | | |
|--|--|------------------------|----------------------------|---------------------------|
| | approximately 80 people while the new expansion will allow for approximately 180 people. | | | |
| ZONING & FLU | DIRECTION | EXISTING ZONING | EXISTING FLU | USE OF PROPERTY |
| | SITE | R-1 | Medium Density Residential | Church |
| | NORTH | R-1 | Medium Density Residential | Single-Family Residential |
| | SOUTH | R-1 | Medium Density Residential | Single-Family Residential |
| | EAST | R-1 | Medium Density Residential | Single-Family Residential |
| | WEST | R-1 | Medium Density Residential | Single-Family Residential |
| STANDARDS FOR GRANTING A SPECIAL EXCEPTION; LDC SECTION 30.43(b)(2) | <p>The Board of Adjustment (BOA) shall have the power to hear and decide special exceptions it is specifically authorized to pass under the terms of the land development code upon determination the use requested:</p> <p><u>IS NOT DETRIMENTAL TO THE CHARACTER OF THE AREA OR NEIGHBORHOOD OR INCONSISTENT WITH TRENDS OF DEVELOPMENT IN THE AREA:</u></p> <p>The existing structure has been established on this property since 1950 in the Bookertown community. The proposed church expansion and parking facilities will not be inconsistent with character of the neighborhood due to its longstanding use as a church within the Bookertown community. It is typical to have community churches within established residential communities.</p> <p><u>DOES NOT HAVE AN UNDULY ADVERSE EFFECT ON EXISTING TRAFFIC PATTERNS, MOVEMENTS AND VOLUMES:</u></p> <p>A proposed addition of an existing church will increase traffic however a majority of those trips will be internal to the Bookertown community due the majority of the congregation living within the community. The services the church provides also will have a nominal effect on peak hour traffic because the church classes begin at 7:00 pm on weekdays and church service will only be held on Sunday's.</p> <p><u>IS CONSISTENT WITH THE SEMINOLE COUNTY VISION 2020 COMPREHENSIVE PLAN:</u></p> <p>The Seminole County Vision 2020 Comprehensive Plan describes Medium Density Residential Future Land Use as appropriate for a variety of non-residential special exception uses such as, group homes, churches, day care, guest cottages, home occupation,</p> | | | |

| | |
|--|--|
| | <p>public utilities, and publicly owned parks and recreational areas. With the imposition of staff's recommended conditions, the proposed church expansion and off street parking facility would be consistent with this description, given the primary use of this site as a church.</p> <p><u>MEETS ANY ADDITIONAL REQUIREMENTS SPECIFIED IN THE CODE SECTION AUTHORIZING THE USE IN A PARTICULAR ZONING DISTRICT OR CLASSIFICATION:</u></p> <p>Based on the submitted site plan, the proposed expansion will meet the minimum applicable setbacks requirements in the R-1 (Single-Family Dwelling District). The existing church doesn't meet the applicable setbacks, however since the structure was built in 1950 setbacks were not in existence.</p> <p><u>WILL NOT ADVERSELY AFFECT THE PUBLIC INTEREST:</u></p> <p>Within the R-1 district, off street parking facilities and churches are allowed as conditional uses. The proposed off street parking facility and church expansion use would not have any significant additional impacts in intensity due to this site having been used as church for a number of years.</p> |
| <p>STANDARDS FOR GRANTING A SPECIAL EXCEPTION IN THE R-1 (SINGLE-FAMILY DWELLING DISTRICT); LDC SECTION 30.181(a) & (d)</p> | <p>The BOA may permit any use allowed by special exception in the R-1 (Single-Family Dwelling District) upon making findings of fact, in addition to those required by section 30.43(b)(2) of the land development code, that the use:</p> <p><u>IS CONSISTENT WITH THE GENERAL ZONING PLAN OF THE R-1 (SINGLE FAMILY DWELLING DISTRICT):</u></p> <p>As previously stated churches and off street parking facilities are consistent with the general zoning plan of the R-1 district. With the imposition of staff's recommended conditions, the proposed church expansion and off street parking facility would otherwise comply with the use and standards of the R-1 district.</p> <p><u>IS NOT HIGHLY INTENSIVE IN NATURE:</u></p> <p>The request would not be highly intensive in nature, since the site has been established as a church and would be limited by the number of parking spaces allowable.</p> <p><u>HAS ACCESS TO AN ADEQUATE LEVEL OF URBAN SERVICES SUCH AS SEWER, WATER, POLICE, SCHOOLS AND RELATED SERVICES:</u></p> <p>County services including police, emergency, and garbage disposal are available to the site. The property is currently served by water and a septic system.</p> |

| | |
|-----------------------------|---|
| STAFF FINDINGS | <p>There is currently an existing church and a vacant lot to the west across Moton Avenue. The expansion to the site includes a 3,124 square foot church expansion and an off street parking facility on the vacant property. In evaluating this request, staff has determined the following:</p> <ul style="list-style-type: none">• The proposed use would be consistent with the comprehensive plan's designation of Medium Density Residential future land use for the subject property.• With the imposition of staff's recommended conditions, the proposed use would not have an adverse impact on existing traffic patterns, movements or volumes.• The proposed use would not adversely affect the public interest.• No identified areas of environmental concern would be impacted by the proposed use.• The proposed church expansion and off street parking facility would be compatible with the residential character of nearby and adjacent development. |
| STAFF RECOMMENDATION | <p>Based on the stated findings, staff recommends the Board of Adjustment approve the request for special exception, subject to the following conditions:</p> <ul style="list-style-type: none">○ Parking of vehicles within the road right-of-way shall be prohibited.○ Final Site plan shall meet all active/passive buffer requirements adjacent to parking lots set forth in the Land Development Code.○ If the parking facility shall be lighted it will be residential in design and it will follow the standards set forth in the Land Development Code. |



SEMINOLE COUNTY PLANNING & DEVELOPMENT DEPARTMENT
PLANNING DIVISION
1101 EAST FIRST STREET
SANFORD, FL 32771
(407) 665-7444 PHONE (407) 665-7385 FAX

RECEIVED JUN 02 2006

APPL. NO. BS2006-003

APPLICATION TO THE SEMINOLE COUNTY BOARD OF ADJUSTMENT

Applications to the Seminole County Board of Adjustment shall include all applicable items listed in the Board of Adjustment Process Checklist. No application will be scheduled for Board of Adjustment consideration until a complete application (including all information requested below) has been received by the Planning & Development Department, Planning Division. Applications for SPECIAL EXCEPTION shall only be received for processing following pre-application conference.

APPLICATION TYPE:

- ☐ **VARIANCE**
- ☐ **SPECIAL EXCEPTION** for an addition to an existing church
and an off street parking facility
- ☐ **LIMITED USE**
- ☐ ☐ SF DWELLING UNDER CONSTRUCTION ☐ MEDICAL HARDSHIP
☐ NIGHT WATCHMAN ☐ FAMILY HARDSHIP
☐ YEAR OF MOBILE HOME / RV (EXISTING _____) (PROPOSED _____)
☐ SIZE OF MOBILE HOME / RV _____ ☐ TIME NEEDED _____
☐ PLAN TO BUILD ☐ YES ☐ NO IF SO, WHEN _____
- ☐ **APPEAL FROM DECISION OF THE PLANNING MANAGER**

| PROPERTY OWNER | | AUTHORIZED AGENT * |
|----------------|--|----------------------------------|
| NAME | ROSE HILL BAPTIST CHURCH. | VERNON THOMPSON |
| ADDRESS | 06 MOTON AVENUE LAKE MONROE, FLORIDA. | 4121 DINON DR. ORL. FLA 32808 |
| PHONE 1 | DEACON WILLIAMS | 407-739-7891 |
| PHONE 2 | 407-427-0988. | |
| E-MAIL | | |

PROJECT NAME: ROSE HILL BAPTIST CHURCH.

SITE ADDRESS: 06 MOTON AVENUE, LAKE MONROE, FLA.

CURRENT USE OF PROPERTY: EXISTING CHURCH STRUCTURE.

LEGAL DESCRIPTION: _____

SIZE OF PROPERTY: 80 X 165 acre(s) PARCEL I.D. 20-19-30-501-0000-0990

UTILITIES: ☒ WATER ☐ WELL ☐ SEWER ☒ SEPTIC TANK ☐ OTHER _____

KNOWN CODE ENFORCEMENT VIOLATIONS NONE.

IS PROPERTY ACCESSIBLE FOR INSPECTION ☒ YES ☐ NO

This request will be considered at the Board of Adjustment regular meeting on 7,24,06
(mo/day/yr), in the Board Chambers (Room 1028) at 6:00 p.m. on the first floor of the Seminole County Services Building, located at 1101 East First Street in downtown Sanford, FL.

I hereby affirm that all statements, proposals, and/or plans submitted with or contained within this application are true and correct to the best of my knowledge.

SIGNATURE OF OWNER OR AGENT*

6/2/06.
DATE

* Proof of owner's authorization is required with submittal if signed by agent.

ADDITIONAL VARIANCES

VARIANCE 2:

VARIANCE 3:

VARIANCE 4:

VARIANCE 5:

VARIANCE 6:

VARIANCE 7:

APPEAL FROM BOA DECISION TO BCC**APPELLANT INFORMATION**

NAME

ADDRESS

PHONE 1

PHONE 2

E-MAIL

NATURE OF THE APPEAL

APPELLANT SIGNATURE

FOR OFFICE USE ONLY

PROCESSING:

FEE(S): 370.00

COMMISSION DISTRICT

FLU / ZONING

R-1 / MOR

BCC HEARING DATE (FOR APPEAL)

LOCATION FURTHER DESCRIBED AS

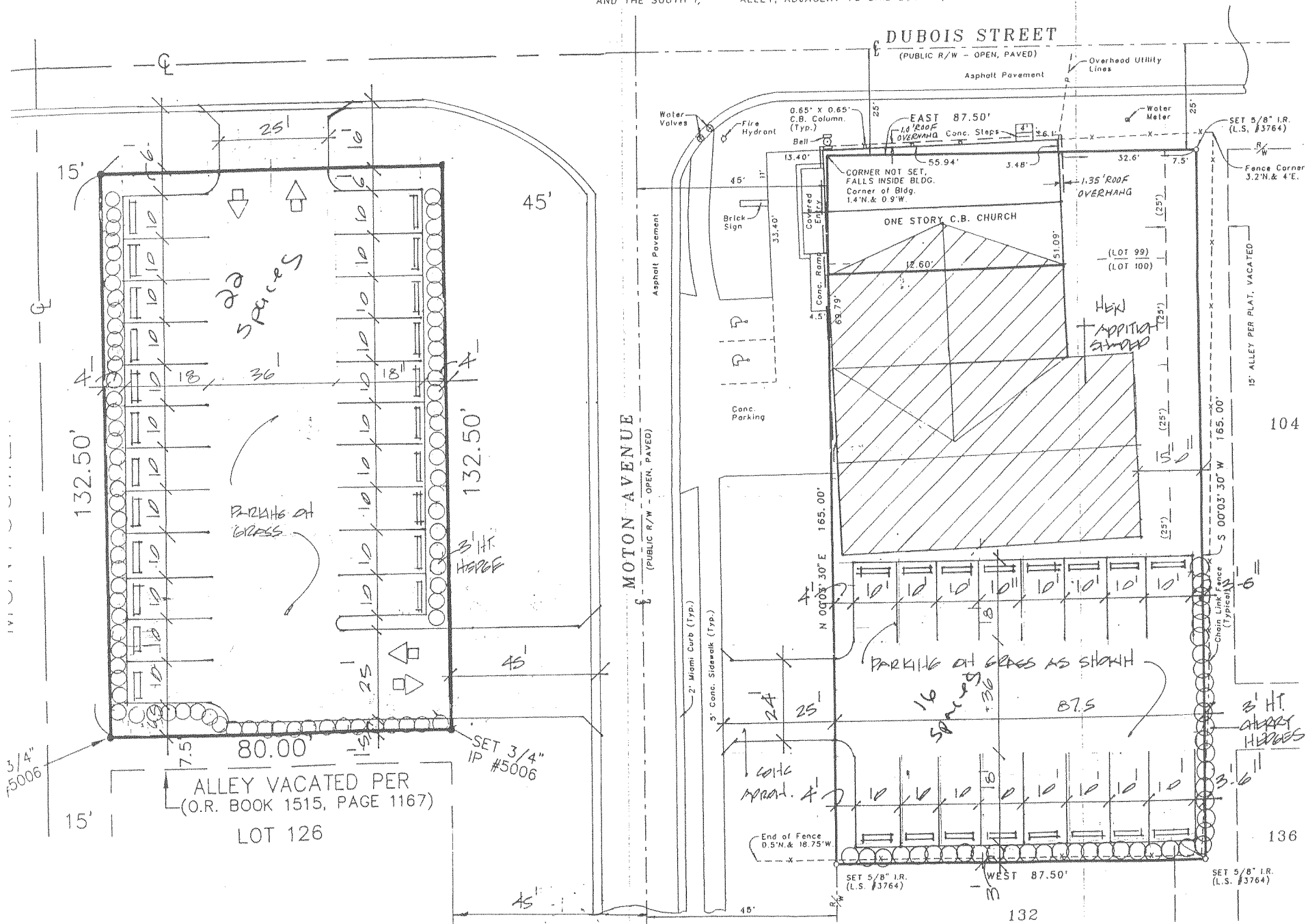
PLANNING ADVISOR

DATE

SUFFICIENCY COMMENTS

FLORIDA, AND THE WEST 1/2 OF VACATED ALLEY ON SOUTH ADJACENT TO SAID LOT 103 AND ADJACENT TO SAID W 1/2 OF VACATED ALLEY ON EAST,
AND
LOT 131, BOOKER
AND THE SOUTH 1,
AS RECORDED IN PLAT BOOK 4, PAGES 97 AND 98, PUBLIC RECORDS OF SEMINOLE COUNTY
ALLEY, ADJACENT TO SAID LOT 131, AND THE WEST 1/2 OF VACATED ALLEY ADJACENT T

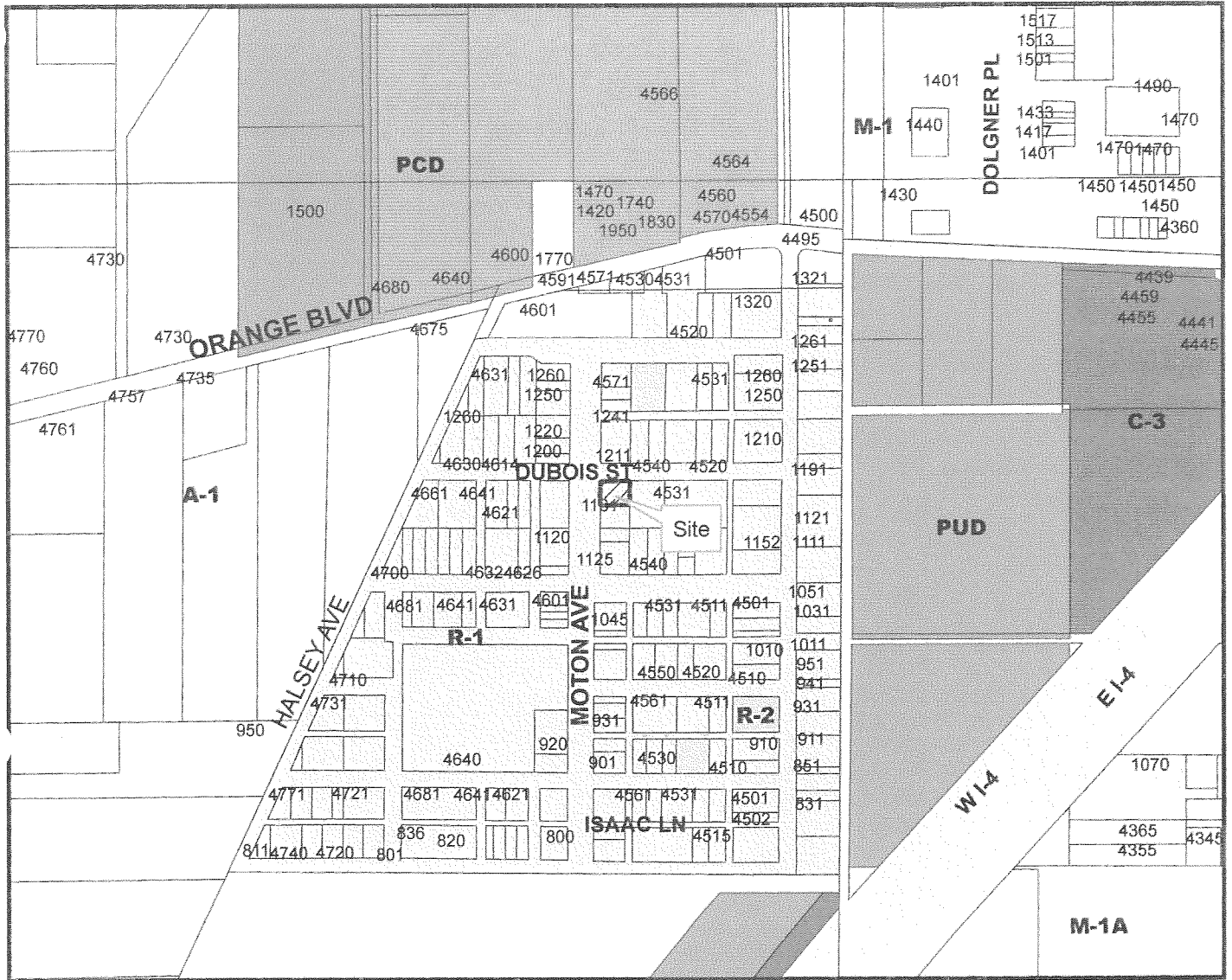
DA,
LOT 131.



BEARINGS ARE BASED ON THE SOUTH RIGHT-OF-WAY OF
DUBOIS STREET, AS BEING EAST, ASSUMED.

SCALE: 1" = 20'
 DATE OF:
 BOUNDARY: 12-17-03
 FOUND: 12-17-03

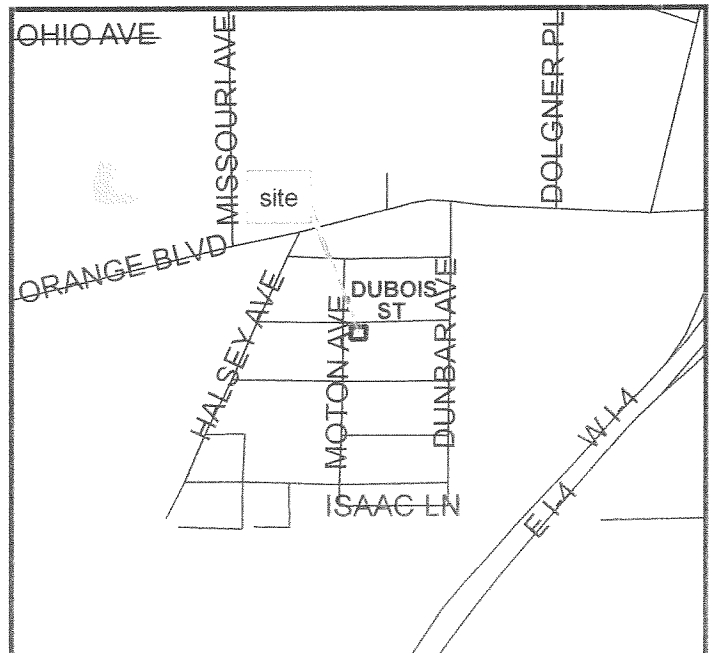
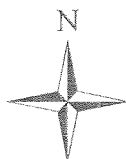
Vernon Thompson
1161 Moton Ave
Sanford, FL 32771



Seminole County Board of Adjustment
July 24, 2006
Case: BS2006-003
Parcel No: 20-19-30-501-0000-0990

Zoning

| | | | | | |
|--|------------|--|------|--|-----|
| | BS2006-003 | | C-2 | | PUD |
| | A-1 | | C-3 | | PCD |
| | R-1 | | M-1A | | |
| | R-2 | | M-1 | | |



| PARCEL DETAIL DAVID JOHNSON, CFA, ASA PROPERTY APPRAISER SEMINOLE COUNTY FL 1101 E. FIRST ST SANFORD, FL 32771-1468 407-665-7508 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---------------|--|--|------------|------------|--------------------------|------------|--------------------|---------|----------|-----------|---------------|---------|--|------|---|-------|---|--------------------------|----------|-----------|--|--|--|--|--|--|--|--|--|---|---------------|------|---|-----|---|--------------------------|----------|----------|
| GENERAL Parcel Id: 20-19-30-501-0000-0990 Owner: CHURCH ROSE HILL BAPTIST Mailing Address: PO BOX 470164 City,State,ZipCode: LAKE MONROE FL 32747 Property Address: 1161 MOTON AVE Facility Name: Tax District: 01-COUNTY-TX DIST 1 Exemptions: 36-CHURCH/RELIGIOUS Dor: 71-CHURCHES | | 2006 WORKING VALUE SUMMARY Value Method: Market Number of Buildings: 2 Depreciated Bldg Value: \$64,869 Depreciated EXFT Value: \$0 Land Value (Market): \$8,550 Land Value Ag: \$0 Just/Market Value: \$73,419 Assessed Value (SOH): \$73,419 Exempt Value: \$73,419 Taxable Value: \$0 Tax Estimator | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SALES Deed Date Book Page Amount Vac/Imp Qualified Find Sales within this DOR Code | | 2005 VALUE SUMMARY 2005 Tax Bill Amount: \$0 2005 Taxable Value: \$0 DOES NOT INCLUDE NON-AD VALOREM ASSESSMENTS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LAND <table border="1"> <thead> <tr> <th>Land Assess Method</th> <th>Frontage</th> <th>Depth</th> <th>Land Units</th> <th>Unit Price</th> <th>Land Value</th> </tr> </thead> <tbody> <tr> <td>FRONT FOOT & DEPTH</td> <td>75</td> <td>88</td> <td>.000</td> <td>150.00</td> <td>\$8,550</td> </tr> </tbody> </table> | | Land Assess Method | Frontage | Depth | Land Units | Unit Price | Land Value | FRONT FOOT & DEPTH | 75 | 88 | .000 | 150.00 | \$8,550 | LEGAL DESCRIPTION PLATS: <input type="text" value="Pick..."/> LEG LOTS 99 100 + 101 & 1/2 VACD ALLEY ADJ ON E BOOKERTOWN PB 4 PG 98 | | | | | | | | | | | | | | | | | | | | | | | | | |
| Land Assess Method | Frontage | Depth | Land Units | Unit Price | Land Value | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FRONT FOOT & DEPTH | 75 | 88 | .000 | 150.00 | \$8,550 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING INFORMATION <table border="1"> <thead> <tr> <th>Bld Num</th> <th>Bld Class</th> <th>Year Blt</th> <th>Fixtures</th> <th>Gross SF</th> <th>Stories</th> <th>Ext Wall</th> <th>Bld Value</th> <th>Est. Cost New</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>MASONRY PILAS</td> <td>1950</td> <td>6</td> <td>1,485</td> <td>1</td> <td>CONCRETE BLOCK - MASONRY</td> <td>\$49,721</td> <td>\$124,302</td> </tr> <tr> <td colspan="3"></td> <td colspan="6">Subsection / Sqft OPEN PORCH UNFINISHED / 55</td> </tr> <tr> <td>2</td> <td>MASONRY PILAS</td> <td>1950</td> <td>0</td> <td>450</td> <td>1</td> <td>CONCRETE BLOCK - MASONRY</td> <td>\$15,148</td> <td>\$37,870</td> </tr> </tbody> </table> | | | | Bld Num | Bld Class | Year Blt | Fixtures | Gross SF | Stories | Ext Wall | Bld Value | Est. Cost New | 1 | MASONRY PILAS | 1950 | 6 | 1,485 | 1 | CONCRETE BLOCK - MASONRY | \$49,721 | \$124,302 | | | | Subsection / Sqft OPEN PORCH UNFINISHED / 55 | | | | | | 2 | MASONRY PILAS | 1950 | 0 | 450 | 1 | CONCRETE BLOCK - MASONRY | \$15,148 | \$37,870 |
| Bld Num | Bld Class | Year Blt | Fixtures | Gross SF | Stories | Ext Wall | Bld Value | Est. Cost New | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | MASONRY PILAS | 1950 | 6 | 1,485 | 1 | CONCRETE BLOCK - MASONRY | \$49,721 | \$124,302 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | Subsection / Sqft OPEN PORCH UNFINISHED / 55 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | MASONRY PILAS | 1950 | 0 | 450 | 1 | CONCRETE BLOCK - MASONRY | \$15,148 | \$37,870 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NOTE: Assessed values shown are NOT certified values and therefore are subject to change before being finalized for ad valorem tax purposes. *** If you recently purchased a homesteaded property your next year's property tax will be based on Just/Market value. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

June 2, 2006

To: Seminole county planning and zoning
1101 East 1st street
Sanford, Florida 32771

From: Rose Hill Baptist church
1161 Moton Avenue
Lake Monroe, Florida, 32747

Re: **special exception proposal**
Church extension and special exception permit for a proposed parking lot directly across the street from the existing property.

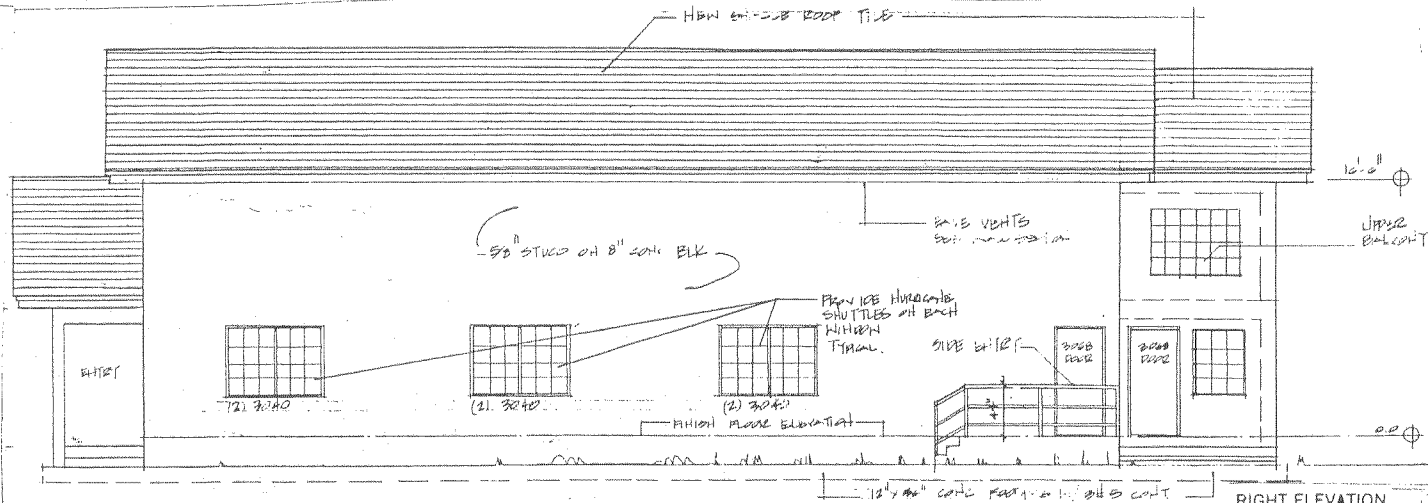
Gentlemen,

By this letter we are requesting permission to construction and 3,124 square foot building addition to the existing church building location at 1161 Moton Avenue in lake Monroe, Florida. An addition to this building addition we were planning to convert the church owned property directly across the street to a new parking lot. This parking lot will accommodate about 36 cars. Parking on this proposed parking lot will be on grass with concrete wheel stop.

HOLD DOWN ANALYSIS

UPLIFT

| | |
|--|--------|
| UNLESS NOTED OTHERWISE: | |
| 1) ALL HANGNERS TO BE SIMPSON UHQ | |
| 2) GND CONNECTIONS - HETAS W/ 10-10W x 1/2 UHQ | |
| 3) WOOD CONNECTIONS TO BE AS FOLLOWS: | |
| TO BEA UPLIFT - HETAS | |
| 1804 TO BODY UPLIFT - MTS 12 | |
| ALL HANGERS BY TRUSS COMPANY | |
| 2) HETAS STRAPS TO A 4X4 POST IN WALL BELOW | 2900#U |
| SECURE 4X4 POST TO FPG W/ A HETAS AT BASE W/ 5/8" DIA A.B. | |
| W/ 8 1/2" EMBEDMENT | |
| (2) HETAS 20(1) W/ 18-100 x 1 1/2" NAILS | 2035#U |
| (2) HETAS 20(1) W/ 18-100 x 1 1/2" NAILS | 2500#U |
| NST W/ 22-180 TO GROUND (2 P.T.) AND A 5/8" THREADED | 3140#U |
| ROD DRILLED AND EPOXYED MIN. 8 1/2" EMBEDMENT | |
| 3) HETAS 20 W/ 18-100 EACH TRUSS TO 4X4 POST | 2580#U |
| IN WALL BELOW SECURE 4X4 POST FPG W/ A | |
| HETAS W/ 18-100 & A 5/8" 12" HED HEAD | |
| W/ MIN. 8 1/2" EMBEDMENT | |
| (3) HETAS 20 W/ 24-100 x 1 1/2" EA. TO A 3PLY 11 7/8" LVL | 3735#U |
| BELOW SECURE THE ENDS OF THE LVL W/ 2 L2X40 W/ | |
| 22-100 EACH TO A 3 1/2" x 3 1/2" PSL COL. SECURE THE | |
| COL. TO THE FOOTING W/ A HETAS W/ 18-100 TO THE | |
| COL. & A 5/8" EPOXY ANCHOR W/ 8 1/2" EMBEDMENT | |
| 2) L2 2 W/ 30 TOTAL 180 EACH TO A 3 1/2" x 5 1/4" | 3700#U |
| PSL COL. IN THE WALL BELOW SECURE THE COL. TO | |
| THE FOOTING W/ A HETAS W/ 18-100 TO THE COL. & | |
| A 5/8" THREADED ROD W/ SIMPSON "SET" EPOXY W/ | |
| MIN. 8 1/2" EMBEDMENT | |
| 2) HETAS 12 W/ 14-100 EACH (3P) | 1720#U |
| | 2000#U |
| 2) HETAS W/ 24-100 x 1 1/2" MIN. KNOCKS EACH STRAP TO | 5940#U |
| MASONRY AND 18-100 SHIMMERS EACH STRAP TO TRUSS | |
| UHQ HULLS W/ 12 HWS SCREWS TO TRUSS AND 4 3/4" x 10" | |
| WEDGE ANCHORS TO MASONRY | |
| 3) HETAS 20 W/ 24-100 x 1 1/2" EACH TO A 5 1/4" x 5 1/4" | 3735#U |
| P. COL. IN THE WALL BELOW SECURE THE COL. AT THE | |
| FOOTING W/ A HETAS W/ 18-100 TO THE COL. AND A 5/8" | |
| EPOXY ANCHOR MIN. 8 1/2" EMBEDMENT | |
| 3) HETAS 20 W/ 24-100 x 1 1/2" EACH TO 4X4 #2 S.T.P. POST | 3480#U |
| TO FPG W/ HETAS W/ 18-100 NAILS AND 5/8" DIA. | |
| EPOXY ANCHOR W/ 8 1/2" EMBEDMENT | |
| 4) 2 W/ 30 TOTAL 180 TO A 3 PLY 24" #2 SYP. POST. | 2100#U |
| SECURE BASE WITH HETAS WITH 18-100 AND A | |
| 5/8" x 10" DRILLED AND EPOXYED. MINIMUM 6" EMBEDMENT. | |
| ALL EPOXY ANCHORS TO BE INSTALLED W/ SIMPSON "SET" EPOXY | |



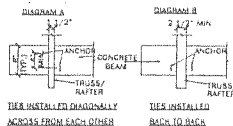
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

FIELD REPAIR NOTES:

- MISSING UNTEL STRAPS FOR MASONRY CONSTRUCTION (EXCEPT ORDERS) MAY BE SUBSTITUTED WITH (1) SIMPSON MTS 12 TWIST STRAP W/ 10" DIA. 8" x 2 1/4" CAP SCREWS TO BLOCK AND (7) 100 COMMON TO TRUSS TO 1000W UPLIFT LOADS
- MISSING ANCHOR BOLTS FOR BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" x 8" CAP BOLT W/ 2" x 1/2" WASHER SPACED SIMILAR TO A MISSED BOLT
- MISSING DOWNRODS MAY BE SUBSTITUTED WITH #5 REBAR DRILLED INTO FOOTING 4" AND ATTACHED WITH EPOXY ROCKS ANCHOR CEMENT. UNLESS "PROVIDED" 300 PSI/1000 PSI OR SIMPSON "SET" EPOXY FOLLOWING ALL MANTY RECOMMENDATIONS. LAP ALL DOWNRODS 20" MIN. AT ALL SPICES

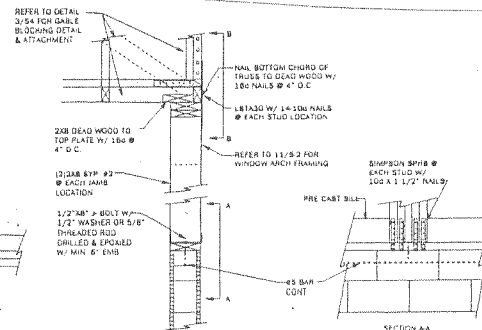
STRUCTURAL NOTES:

- ALL TRUSSES SHALL BE DESIGNED AND CERTIFIED BY REGISTERED ENGINEER IN THE STATE OF FLORIDA
- ALL TRUSSES, RAFTERS AND BEAMS TO BE CLIPPED DOWN (SEE HDSF FRAMING PLAN)
- LOAD BEARING HEADERS
 - 2 x 12 #2 SYP NAILED (2) ROWS 8" OC 180 NAILS W/ 1/2" PLYWOOD FLUSH BETWEEN
 - WITH (2) JACK STUDS WITH L2X4 STRAPS BEAM TO STUDS AND L2X4B STUDS TO FPG
- EACH END OF HEADER
- FRAME WALLS STUDS
 - 2 x 4 SYP 16" OC INTERIOR NON-BRING
 - BEARING WALLS AS INDICATED ON PLANS
 - 2 x 4 #2 SYP 16" OC (10" TALL BRG) (PROVIDE BLND @ 3-0 POINTS)
 - 2 x 4 #2 SYP 12" OC (10" TALL BRG)
- FRAME WALL BASE PLATES: #2 SYP P.1
- TOP PLATES #2 SPRUCE NON BRG: 2x4 #2 SYP BEARING
- RAFTERS AND COLUMN TIES MAX 24" OC #2 SYP



TYPICAL TRUSS ANCHOR
NO SCALE

This construction documents shall be designed and constructed to comply with all the requirements set forth in the Florida building code, residential section R301 Design criteria and 2004, edition



WINDOW FRAMING SECTION
SCALE: 3/4" = 1'-0"

UPLIFT CONNECTORS

- UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE CONSULT THE TRUSS ENGINEERING FOR THE LOCATION OF THESE WALLS

FIELD REPAIR NOTES

- MISSING 1" BOLT FOR WOOD BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. EPOXY ANCHORS WITH 8" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURERS RECOMMENDATIONS. SEE PLAN FOR EMBEDMENT DEPTH AT FLOOR STEPS
- MISSING VERT. DOWELS DRILL A 3/4" DIAMETER HOLE 8" DEEP AT THE LOCATION OF THE OMITTED REBAR, AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDDED EPOXY (SIMPSON "SET" EPOXY). MIXED PER MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED. PRIOR TO APPLYING THE EPOXY, ALLOW THE EPOXY TO CURE TO MANUFACTURER'S SPECIFICATIONS. THEN FILL THE CELL IN THE NORMAL WAY DURING BOND BEAM POUR
- FOR JOINT JOINTS LESS THAN 1/4" PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO FOOTING)
- MISSING UNTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON MTS12 TWIST STRAP W/ (4) 10" x 24" (10W) HULLS W/ 12 HWS (12) HETAS FOR UPLIFTS LESS THAN 1720W. NO MORE THAN 18 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 24 DIA. ROW. IF ANOTHER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER OR ARCHIT FOR SUBSTITUTIONS

PREFABRICATED WOOD TRUSSES

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL LUMBER PRODUCTS ASSOCIATION
- TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25% TO WITHSTAND THE LIVE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD
- BRIDGING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS
- TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FOLLOWING DESIGN LOADS
- DESIGN SPECIFICATIONS FOR LIGHT-WEIGHT METAL PLATE CONNECTED WOOD TRUSSES PER THE TRUSS PLATE INSTITUTE (TP) LATEST EDITION
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFIED LOADS AND GOVERNING CODES. SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWING MEMBER SIZES, BRACING, ANCHORAGE CONNECTIONS, TRUSS LOCATIONS, AND PERMANENT BRACING AND/OR BRIDGING AS REQUIRED FOR ERECTION AND FOR THE PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSSES TO TRUSS HANGERS

| REVISIONS | BY |
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| DRAWN CHECKED DATE 4/20/06 SCALE AS SHOWN JOB NO. 2006-17 SHEET A-5 |
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1. HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM C90, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1800 PSI ($f_m = 1800$ PSI)
2. COARSE GROUT SHALL BE TYPE C, FLOWABLE, CONFORMING TO ASTM C1097
3. COARSE GROUT SHALL CONFORM TO ASTM C1097 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 2800 PSI
4. VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH THE CELLS FILLED WITH COARSE GROUT
5. VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM OF THE CELLS BY 18" LONG 1/2" DIA. BAR DIAMETERS. REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL. TYPICAL UNLESS OTHERWISE NOTED.
6. REINFORCEMENT SHALL BE 1/2" DIA. MINIMUM OF ALL BAR DIAMETERS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
7. GROUT STOPS SHALL BE PROVIDED BEHIND BOND BEAM, PLASTIC SCREEN, METAL LATH STOP ON CAVITY CAPS MAY BE USED TO PREVENT THE FLOW OF GROUT INTO CELLS BELOW. THE USE OF NET PAPER AS A STOP IS PROHIBITED.

- 3.1 MINIMUM ALLOWABLE SLAB PRESSURE 2000 PSF
- 4.1 CONCRETE
- 5.1 CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
2000 PSI (NORMAL WEIGHT)
- 6.1 REINFORCING BARS: ASTM A615 (GRADE 60)
- 7.1 COLDDED WIRE FABRIC: TYPE: ASTM A641
- 8.1 CITAL REINFORCEMENT (IN ACCORDANCE WITH ACI 318)
- 9.1 CONCRETE COVER OF REINFORCEMENT: FOOTINGS 3" BOTTOM AND SIDES
- 10.1 EXIST SUPPORTED SLABS (INCLUDING EXTERIOR WALL AND DRIVE SLABS) 4" THICK MIN., REINFORCED WITH GRD. #4 @ 12" ON C AND MIDDEPTH OF SLAB. FIBERESH MAY BE USED IN LIEU OF WWF AT CONTRACTORS OPTION
- 11.1 CONCRETING OPERATIONS SHALL COMPLY WITH ACI STANDARDS
- 12.1 CURING SLAB SHALL BE AS FOLLOWS: #3 BARS @ 24" BARS 20" #3 BARS 15"
- 13.1 PROVIDE 2" X 2" CORNER BARS ONE FOR EACH HORIZONTAL REINFORCING BAR AT ALL CORNERS AND INTERSECTIONS. TYP. W/O D.

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2500 PSI. A SLUMP OF 3" PLUS OR MINUS 1". AND 3 TO 5% AIR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.53.
2. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL.
3. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A186. WWP SHALL BE LAPPED AT LEAST 1' AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN.
4. HOOKS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOP BARS OF BEAMS.
5. ALL POSITIVE BARS SHALL BE BENT 90° AROUND CORNERS OR CORNER BARS WITH A 2" LAP PROVIDED.
6. MINIMUM LAP SPICES ON ALL REINFORCING BAR SPICES SHALL BE 40 BAR DIAMETERS.
7. CONCRETE COVER MIN. 3" WHEN EXPOSED TO EARTH OR 1 1/2" TO FORM.

ALL REINFORCING STEEL SHALL BE NON DEFORMED BARS PER SPEC FROM AUST. SCALE & C/L SHALL MEET ASTM A-615 REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRE-CAST CONCRETE PADS. TOP REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS, DOWELS FOR COLUMNS & A 3" SLOPE SHALL BE SECURED IN PLACES. ADDITIONAL CROSS REINFORCING TO TOP FOOTING REINFORCING. SPICES IN REINFORCING WHERE PERMITTED SHALL BE THE FOLLOWING MINIMUM, UNLESS OTHERWISE INDICATED ON THE DRAWINGS:

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|-----------------------------|--------------------|
| PIES: WALLS, COILERS, SLABS | 36 DIA. 2'-0" MIN. |
| FOOTING | 40 DIA. 2'-2" MIN. |
| TEMPERATURE REINFORCING: | 8" DIA. 1'-0" MIN. |
| WELDED WIRE MESH: | B7 LAP |

TERMITES PROTECTIOHSHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITES PROTECTION LABELED FOR USE AS PREVENTIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMITICIDES). UPON COMPLETION OF THE APPLICATION OF THE TERMITES PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

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DRAWING GENERAL NOTES

1. REFERENCE TO ANY DETAIL ON DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL ON DRAWING. ANY INFORMATION ON THESE DRAWINGS APPEARING TO BE UNUSUAL OR UNUSUAL SHALL BE REFERRED TO THE ARCHITECT FOR INTERPRETATION AND CLARIFICATION.
2. THE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE APPLICABLE CODES OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS PROJECT. AN OMISSION OR INCOMPLETE SPECIFICATION SHALL BE BROUGHT PROMPTLY TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE EXECUTION OF ANY OF THE WORK.
3. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT RIGHT AWAY FOR CLARIFICATION IN CASE OF A DIMENSION OMISSION OR DISCREPANCY.
4. THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE WORK CONDITIONS AND THE EXACT NATURE AND EXTENT OF THE WORK WITH THE INTENT OF DELIVERING A COMPLETE SYSTEM. THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES BEFORE PLACING CONCRETE AND BE RESPONSIBLE FOR THE SEQUENCE OF WORK.

5. ALL MATERIALS AND THE INSTALLATION OF SAME SHALL MEET THE BEST PRACTICE AND APPLICABLE SPECIFICATION OF THE INDIVIDUAL TRADES. BADLY WORK SHALL BE REJECTED.

6. UPON COMPLETION OF THE WORK UNDER CONTRACT, THE GENERAL CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIAL, EQUIPMENT AND DEBRIS INCIDENTAL TO THE WORK AND LEAVE THE PREMISES AND GENERAL SITE CLEAN AND ORDERLY.

7. PLANS ARE BASED ON SURVEY PREPARED BY A REGISTERED LAND SURVEYOR AND FURNISHED BY THE OWNER. ACCURACY OF SURVEY DATA IS THE SURVEYOR'S RESPONSIBILITY.

8. DURING EACH WORKDAY, THE CONTRACTOR SHALL MAINTAIN THE JOB SITE ORDERLY, CLEAN AND FREE OF ANY DEBRIS AND/OR BUILDING MATERIALS THAT MAY ENDANGER HUMAN LIFE, SAFETY, THAT OF HIS/HER EMPLOYEES, AND ANTI-BODY ELSE LIVING ON OR VISITING THE SITE. AT THE END OF THE WORK DAY, THE PROJECT SITE SHALL BE KEPT CLEAN AND TOOLS AND BUILDING MATERIALS PUT AWAY IN DESIGNATED PLACES SO AS NOT TO CLUTTER THE SITE OR IMPED CIRCULATION THROUGHOUT THE SITE.

9. THE CONTRACTOR SHALL PROVIDE SITE AND BUILDING ACCESS TO THE ARCHITECT, CITY FIELD INSPECTORS, AND ANY OTHER PERSON REQUIRED ON ENTRUSTED WITH INSPECTION OF THE PROJECT. A LUGGAGE SHALL BE AVAILABLE AT ALL TIMES AT THE JOB SITE.

| CONNECTION LEGEND | |
|-------------------|----------------------------|
| 1 | BRIDGE 1/4" x 1/2" OR 3/4" |
| 2 | BRIDGE 1/4" x 1/2" OR 3/4" |
| 3 | BRIDGE 1/4" x 1/2" OR 3/4" |
| 4 | BRIDGE 1/4" x 1/2" OR 3/4" |
| 5 | BRIDGE 1/4" x 1/2" OR 3/4" |
| 6 | BRIDGE 1/4" x 1/2" OR 3/4" |
| 7 | BRIDGE 1/4" x 1/2" OR 3/4" |

WOOD CONSTRUCTION

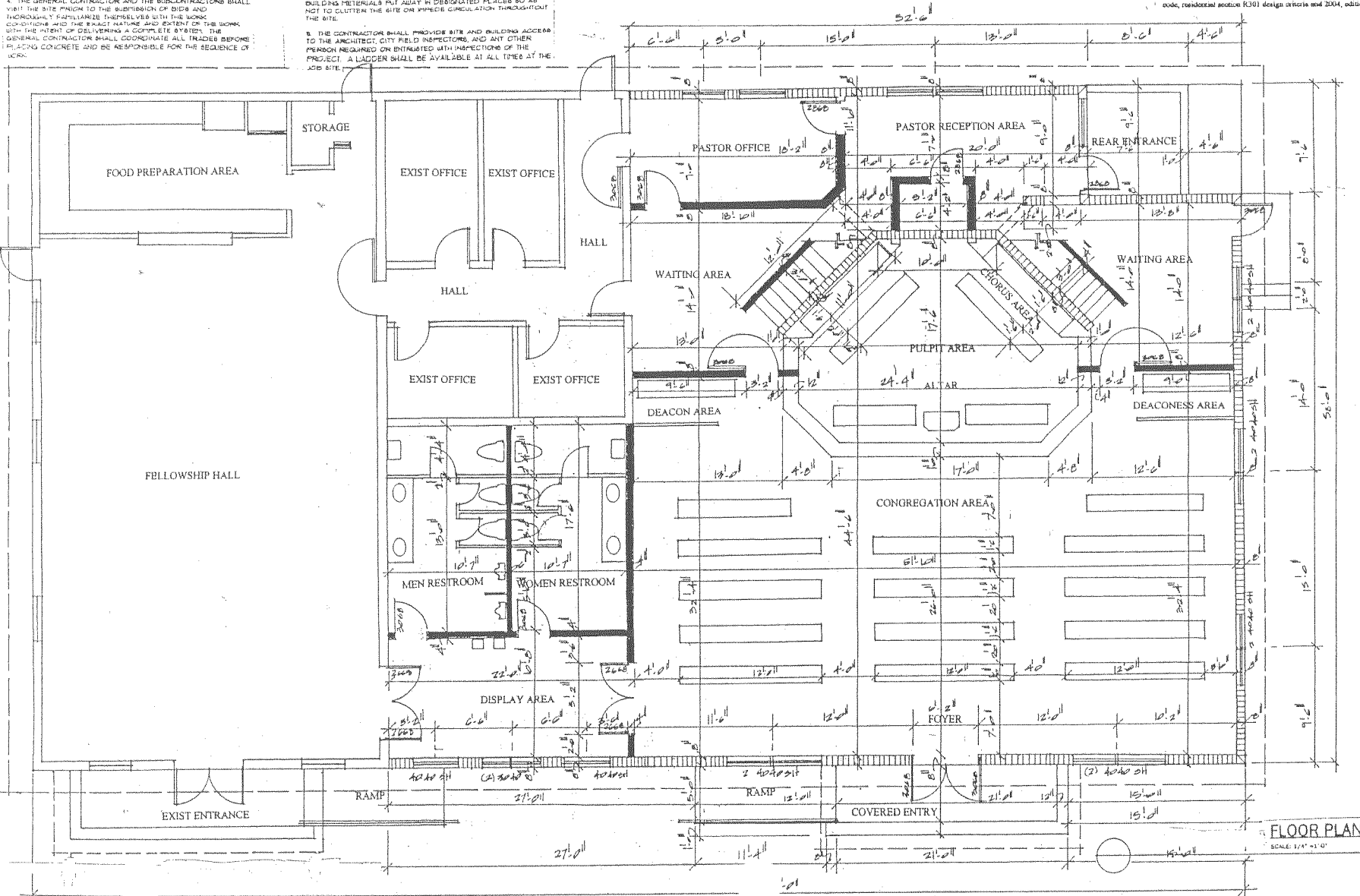
1. WOOD CONSTRUCTION SHALL CONFORM TO THE NDS "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" 2005 EDITION.
2. ALL EXTERIOR WOOD STUD WALLS, BEARING WALLS, SHEAR WALLS AND MISCELLANEOUS STRUCTURAL WOOD FRAMING MEMBERS (I.E. BRACING OR GABLE END BRACING) SHALL BE EITHER SOUTHERN PINE OR S.P.F. NUMBER 2 GRADE OR BETTER SHALL BE USED IN ALL MEMBERS OF SPICES.
3. ANY WOOD FRAME INTERIOR BEARING WALL STUDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1" DIA. SHALL HAVE STUD PROTECTION SHIELDS FOR ALL HOLES OVER 1" DIA. FOR PLUMBING LINES, ETC.
4. FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE RETARDANT-TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRIDGE OR COPPER.

NOTE:

1. METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION. "LIQUID BORATE OR BORACON" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.
2. PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION.

OPTIONAL: BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

This construction document shall be designed and constructed to comply with all the requirements set forth in the Florida building code, residential section (R301) design criteria and 2004, edition.



FLOOR PLAN

SCALE: 1/4" = 1'-0"

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(PARTIAL) (D 20-15-15-50 (2000-2005))

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